

**SEDIMENT FENCE**

1. ALL DESIGN AND CONSTRUCTION DETAILS INCLUDING DIMENSIONS, AND MATERIALS TO BE USED SHALL BE APPROVED BY THE COUNCIL OF THE DISTRICT OF WOLLUMBERTON.

2. ALL CONCRETE WORK SHALL BE CONSTRUCTED AND FINISHED AS EARLY AS PRACTICABLE AFTER COMMENCEMENT OF THE WORK.

3. THE SEDIMENT FENCE SHALL BE CONSTRUCTED AROUND ALL PAVED AREAS, DRIVEWAYS, AND OTHER AREAS WHERE THERE IS A RISK OF EROSION OR POLLUTION OF THE ADJACENT WATERWAYS.

4. ALL SEDIMENT FENCES SHALL BE MAINTAINED AT ALL TIMES AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE TO THE SEDIMENT FENCE.

5. THE SEDIMENT FENCE SHALL BE CONSTRUCTED TO A MINIMUM HEIGHT OF 1.0 METRE AND SHALL BE FINISHED WITH A SMOOTH SURFACE.

6. THE SEDIMENT FENCE SHALL BE CONSTRUCTED TO A MINIMUM WIDTH OF 1.0 METRE AND SHALL BE FINISHED WITH A SMOOTH SURFACE.

7. THE SEDIMENT FENCE SHALL BE CONSTRUCTED TO A MINIMUM LENGTH OF 10.0 METRES.

8. THE SEDIMENT FENCE SHALL BE CONSTRUCTED TO A MINIMUM WEIGHT OF 100.0 KILOGRAMS PER METRE.

9. THE SEDIMENT FENCE SHALL BE CONSTRUCTED TO A MINIMUM STRENGTH OF 10.0 KILONEWTONS PER METRE.

10. THE SEDIMENT FENCE SHALL BE CONSTRUCTED TO A MINIMUM STIFFNESS OF 10.0 KILONEWTONS PER METRE.

SITE AREA: 1420 sq.m  
 Floor space ratio: 0.27 :1  
 Site cover: 364.85 sq.m  
 Drive/paths: 93.23 sq.m  
 Open space: 68%

**SITE PLAN - TREES TO BE REMOVED / RETAINED**  
**ALL TREES WITHIN 5.0M OF PROPOSED BUILDING TO BE REMOVED.**

SCALE 1:200

CLIENT	J. & C. MANTILLA		plan prepared by	<b>BUILDTECH</b> DESIGN & DEVELOPMENT	<b>TULLIPAN</b> HOMES PTY LTD
	JOB	PROPOSED RESIDENCE			
LOCATION	Lot 6 PADDOCK CLOSE ELERMORE VALE		ACCREDITED BUILDING DESIGNERS	ARV 54 539 725 979	Lit. No. 131446C
- BUILDER TO CHECK ALL DETAILS AND DIMENSIONS PRIOR TO CONSTRUCTION. - DIMENSIONS TAKE PREFERENCE OVER SCALE.			Suite 18 - No.1 RELIANCE DRIVE, TUGGERAH N.S.W.2259 ph.4351 8988 fax.4353 8655 email:buildtech@opt.net.au	PH 02 4353 8644 FAX 02 4353 8655 www.tullipanhomes.com.au www.spillievelhomes.com.au	Suite 18, 1 Reliance Dr Tuggerah Business Park Tuggerah NSW 2259 PO Box 5148 CHITWAY BAY NSW 2261
SHEET	DATE	DWG No.	bda BUILDING DESIGNERS & DEVELOPERS Membership No. 930099		
1 of 11	26.08.2014	6269-WD3			

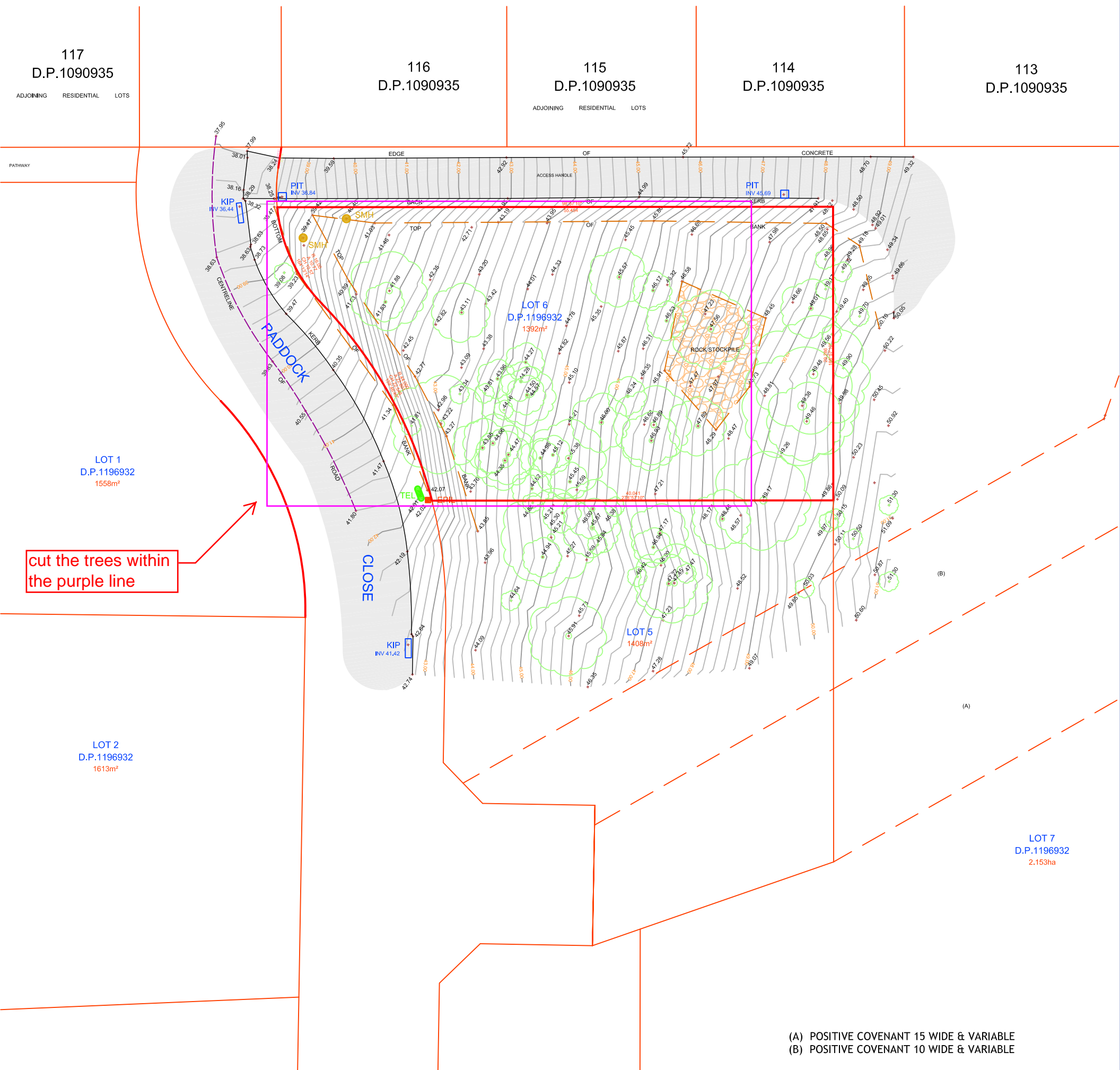
**LEGEND**

	TOP & TOE OF BANKS
	BOUNDARY LINE
	ADJACENT BOUNDARY
	MINOR CONTOUR LINE
	MAJOR CONTOUR LINE
	TEL TELSTRA PIT
	EPI ELECTRICAL PILLAR
	KIP DRAINAGE PIT
	SMH SEWER MAN HOLE
	DENOTES TREE



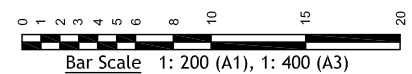
**NOTES:**

1. FEATURES SHOWN TO SCALE ACCURACY.
2. THIS PLAN IS SUITABLE FOR DETAILED PLANNING AND DESIGN AT THE SCALE/S STATED. THE PLAN MAY NOT BE SUITABLE FOR ANY OTHER PURPOSE OR FOR USE AT ANY OTHER SCALE/S.
3. SERVICES LOCATED ONLY WHERE VISIBLE.
4. CONTOUR INTERVAL - 0.2m
5. TREES SHOWN DIAGRAMTIC ONLY. TREE SIZE, WIDTH AND SPREAD IS AVAILABLE AT REQUEST.



cut the trees within the purple line

(A) POSITIVE COVENANT 15 WIDE & VARIABLE  
(B) POSITIVE COVENANT 10 WIDE & VARIABLE



E		
D		
C		
B		
A	06.08.14	INITIAL ISSUE
Ed.	Date	Amendment

THIS PLAN IS COPYRIGHT AND SHALL REMAIN THE PROPERTY OF DE WITT CONSULTING. THE CLIENT NAMED ON THE PLAN IS GRANTED A LICENCE TO USE THE INFORMATION. USING THE INFORMATION CONTAINED IN THIS PLAN IS PROHIBITED UNLESS WRITTEN APPROVAL IS GRANTED BY DE WITT CONSULTING. THE PLAN AND INFORMATION MAY ONLY BE USED FOR THE PURPOSE FOR WHICH THE PLAN WAS DESIGNED.

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 PO Box 232 Gulgong NSW 2852  
 P 02 6374 2911 F 02 6374 2922  
 ABN 23 104 067 405

TITLE  
 DETAIL SURVEY  
 LOT 6 D.P.1196932  
 PADDOCK CLOSE, ELMORE VALE

JOB ADDRESS: PADDOCK CLOSE, ELMORE VALE	PLAN No	JOB REF:
CLIENT: REAL ESTATE NEWCASTLE	<b>0013616</b>	
SCALE: 1:200 (A1) 1:400 (A3)	ORIGIN OF LEVELS	DRAWN JG/BT
SURVEY DATE: 02.08.14	.....	SURVEYOR JW
PLAN DATE: 06.08.14		CHECKED JW
DATUM: MGA / AHD		APPROVED JW
CAD REF: 3616.CCX	DRAWING REF: 3616-LOT 6 DET-06.08.14	SHEET No
		<b>1/1</b>