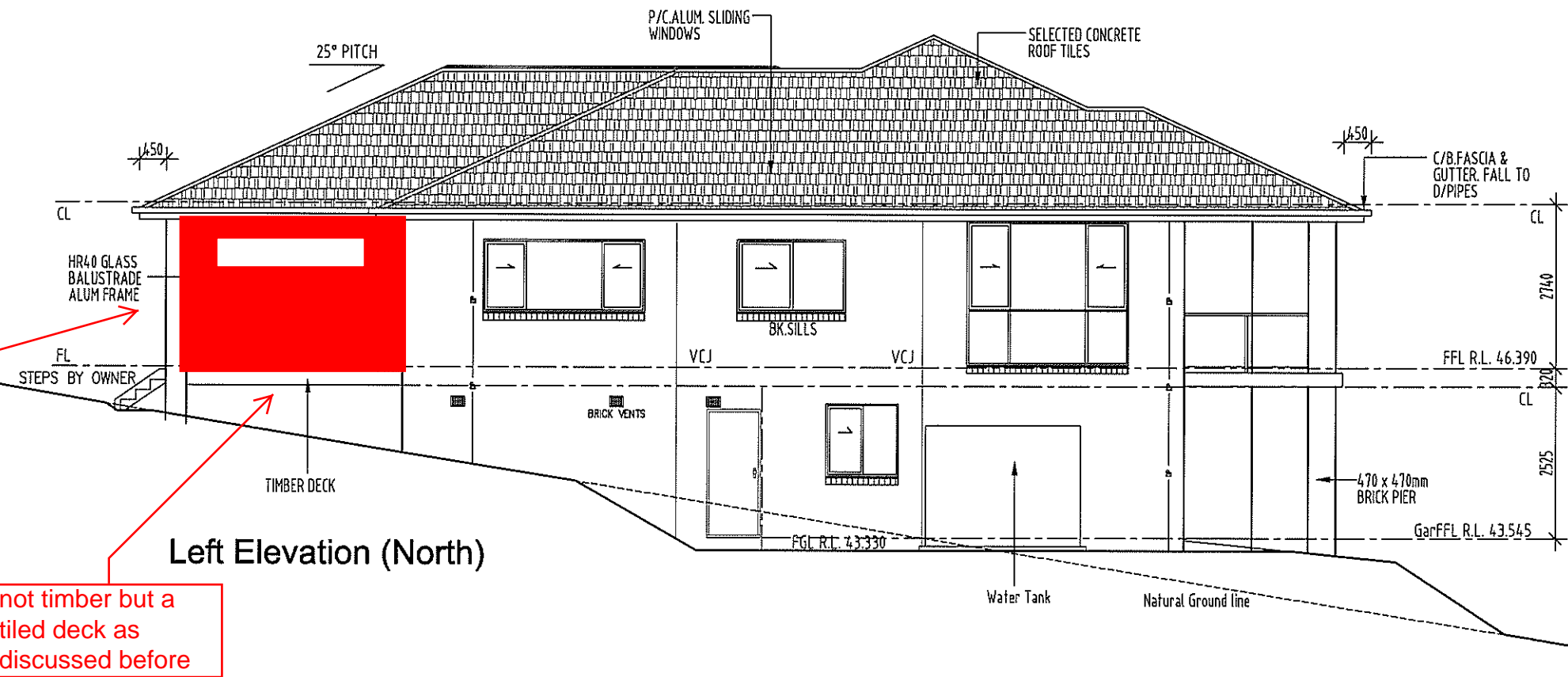


Front Elevation (West)



Left Elevation (North)

side will be close with window on top

not timber but a tiled deck as discussed before

## ELEVATIONS

SCALE 1:100

CLIENT	J. & C. MANTILLA	
JOB	PROPOSED RESIDENCE	
LOCATION	Lot 6 PADDOCK CLOSE ELERMORE VALE	
- BUILDER TO CHECK ALL DETAILS AND DIMENSIONS PRIOR TO CONSTRUCTION. - FIGURED DIMENSIONS TAKE PREFERENCE OVER SCALE.		
SHEET	DATE	DWG No.
4 of 11	5/8/2014	6269-WD2

plan prepared by

### BUILDTECH DESIGN & DEVELOPMENT

ACCREDITED BUILDING DESIGNERS ABN 54 539 725 979

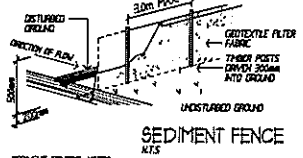
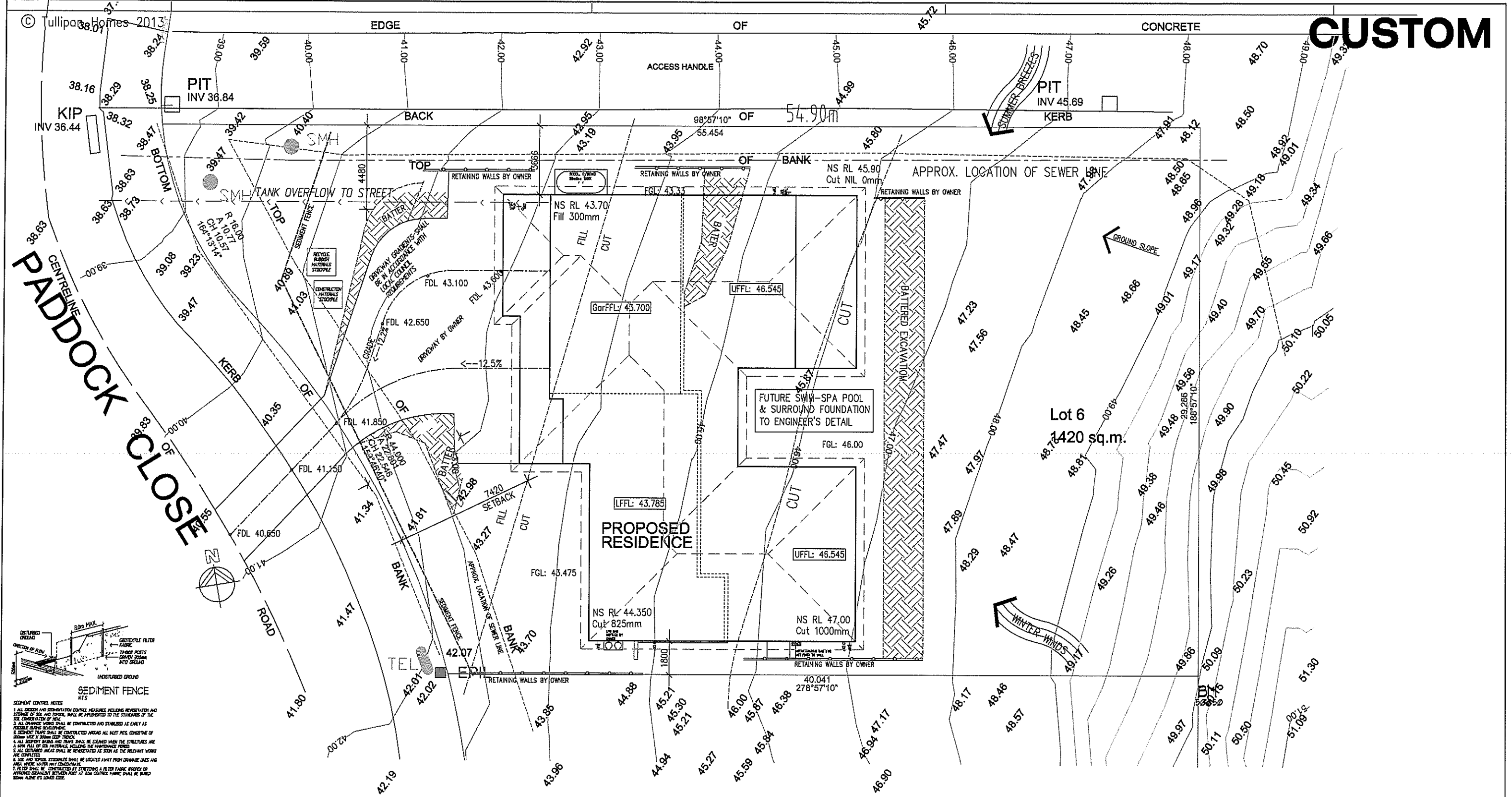
Suite 18 - No.1 RELIANCE DRIVE,  
TUGGERAH N.S.W.2259  
ph.4351 8988  
fax.4353 8655  
email:buildtech@cci.net.au

bda BUILDING DESIGNERS AUSTRALIA NSW  
Membership No. 930099

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 Tuggerah NSW 2259  
 www.tullipanhomes.com.au PO Box 5148  
 www.splitlevelhomes.com.au CHITTAWAY BAY NSW 2261



**SEDIMENT CONTROL NOTES**

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION ACT.
2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLY DURING DEVELOPMENT.
3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL MAINT PITS, CONCRETE OF STORM WATER DRAINAGE TRINCHES.
4. ALL SEDIMENT TRAPS AND PITS SHALL BE CLEANED WHEN THE STRUCTURES ARE A FULL FILL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PITS.
5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREAS WHERE WATER MAY CONCENTRATE.
7. FILTER SHALL BE CONSTRUCTED BY ERECTING A FILTER FABRIC PERIODICALLY APPROVED EQUIPMENT BETWEEN POSTS AT 30M CENTRES. FABRIC SHALL BE BURIED 30MM ALONG ITS LOWER EDGE.

SITE AREA: 1420 sq.m  
 Floor space ratio: 0.27 :1  
 Site cover: 364.85 sq.m  
 Drive/paths: 93.23 sq.m  
 Open space: 68%

## SITE PLAN - SITE ANALYSIS

SCALE 1:200

CLIENT	J. & C. MANTILLA	
JOB	PROPOSED RESIDENCE	
LOCATION	Lot 6 PADDOCK CLOSE ELMORE VALE	
- BUILDER TO CHECK ALL DETAILS AND DIMENSIONS PRIOR TO CONSTRUCTION. - FIGURED DIMENSIONS TAKE PREFERENCE OVER SCALE.		
SHEET	DATE	DWG No.
1 of 11	29-07-2013	6269-WD

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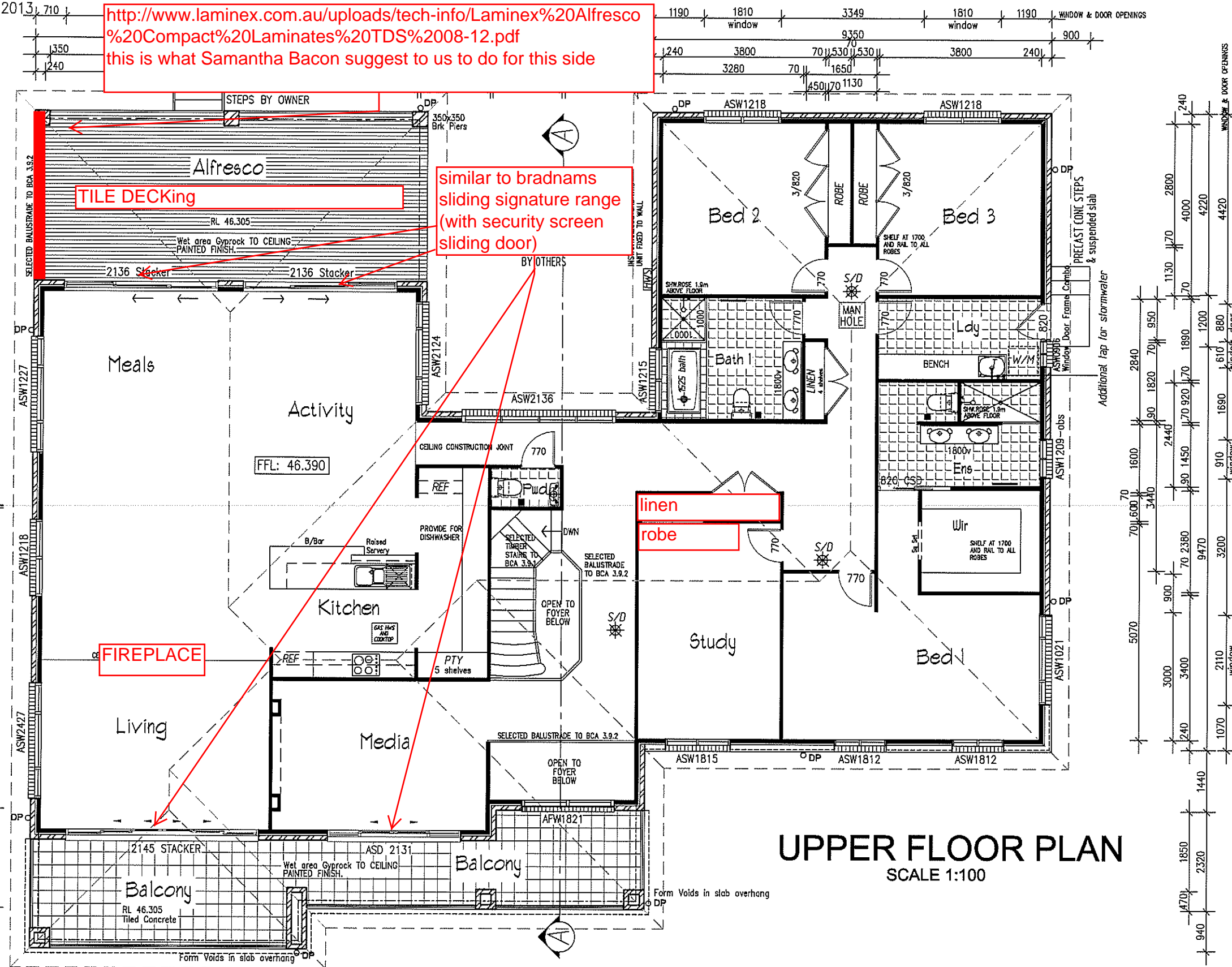
PH 02 4353 8644 Suite 18, 1 Reliance Dr  
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 Tuggerah NSW 2259  
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 www.splitlevelhomes.com.au CHITTAWAY BAY NSW 2261

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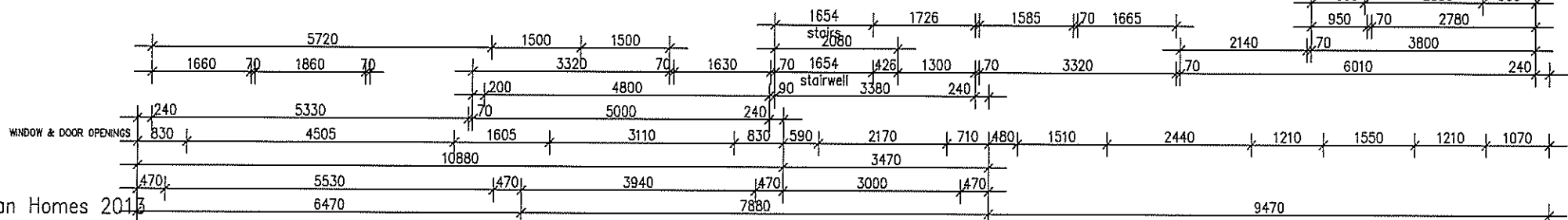
<http://www.laminex.com.au/uploads/tech-info/Laminex%20Alfresco%20Compact%20Laminates%20TDS%2008-12.pdf>  
 this is what Samantha Bacon suggest to us to do for this side

**CUSTOM**

- FIXING LEGEND**
- TOWEL RAIL ———
  - TOILET ROLL ■
  - TOWEL RING ○



**UPPER FLOOR PLAN**  
SCALE 1:100



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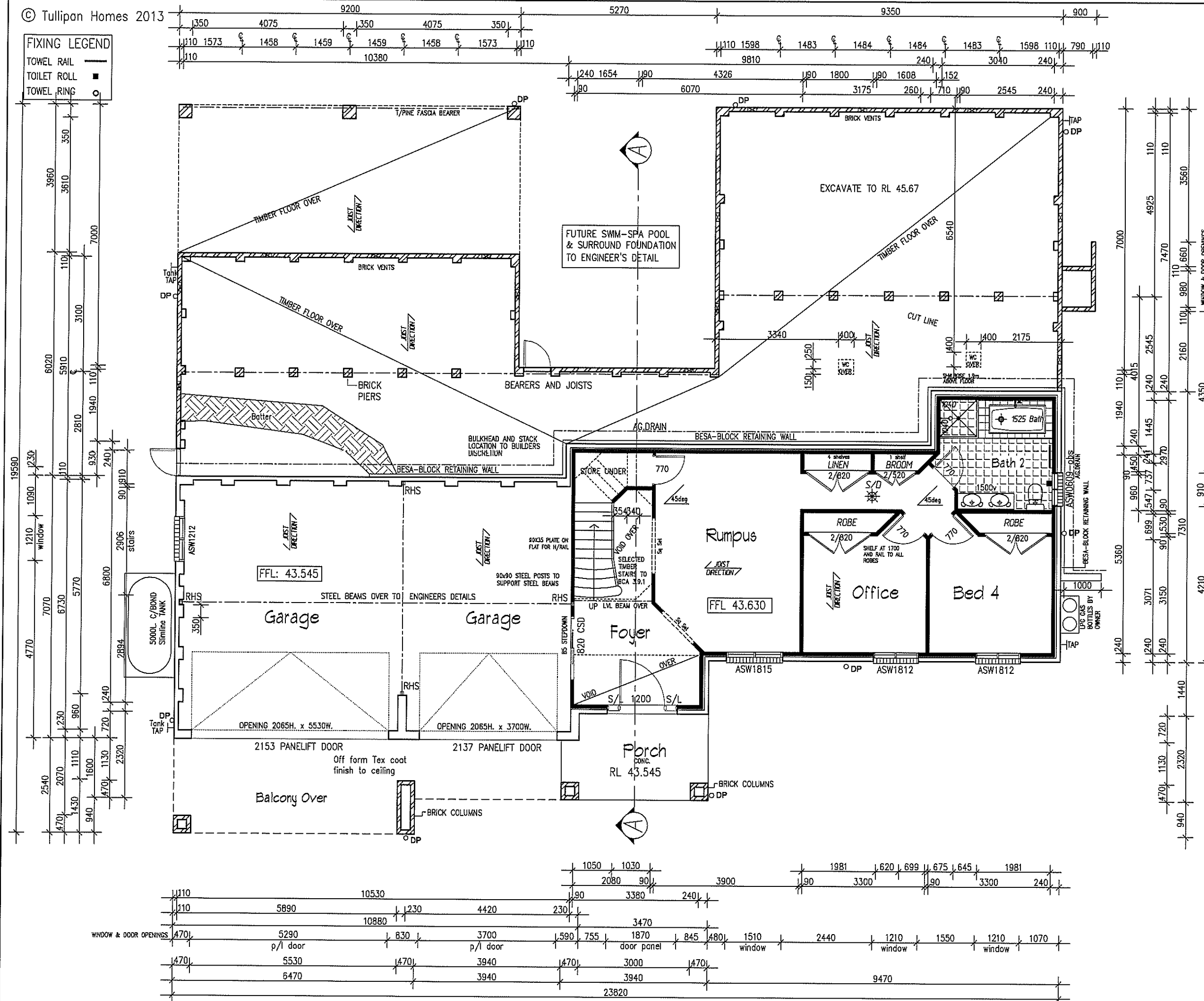
CLIENT **J. & C. MANTILLA**  
 JOB **PROPOSED RESIDENCE**  
 LOCATION **Lot 6 PADDOCK CLOSE  
 ELMORE VALE**

- BUILDER TO CHECK ALL DETAILS AND DIMENSIONS PRIOR TO CONSTRUCTION.  
 - FIGURED DIMENSIONS TAKE PREFERENCE OVER SCALE.

SHEET 3 of 11  
 DATE 5/8/2014  
 DWG No. 6269-WD2

**FIXING LEGEND**

TOWEL RAIL	—
TOILET ROLL	■
TOWEL RING	○



**AREAS:**

Grd Flr Living:	87.63 sq.m
Garage:	75.40 sq.m
Porch:	8.80 sq.m
1st Floor Living:	309.86 sq.m
1st Floor Balcony:	315.4 sq.m
Alfresco:	36.40 sq.m
<b>TOTAL :</b>	<b>549.63 Sq.m</b>
	59.2 Squares

plan prepared by  
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**DESIGN & DEVELOPMENT**  
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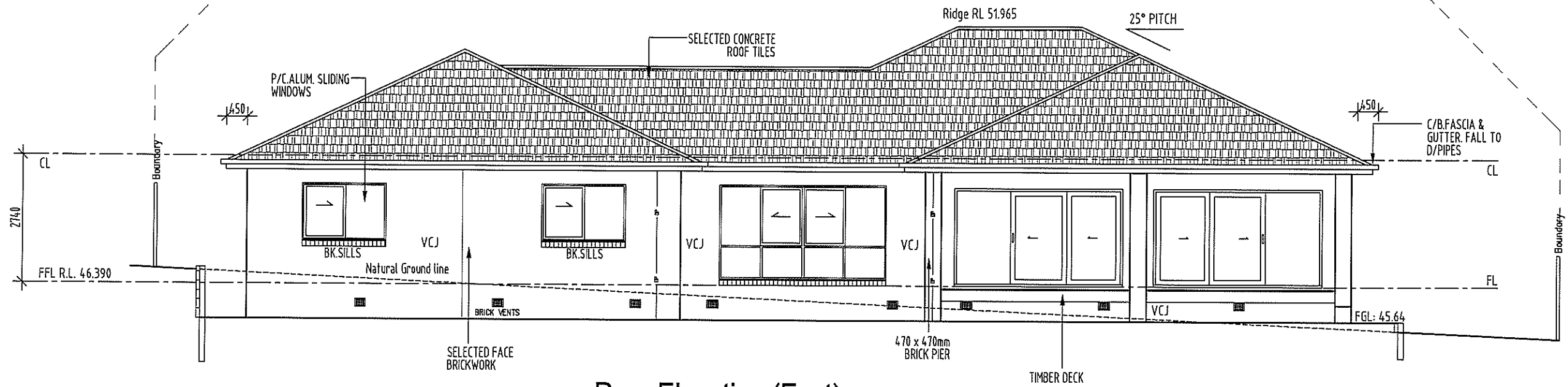
CLIENT **J. & C. MANTILLA**  
 JOB **PROPOSED RESIDENCE**  
 LOCATION **Lot 6 PADDOCK CLOSE ELERMORE VALE**

- BUILDER TO CHECK ALL DETAILS AND DIMENSIONS PRIOR TO CONSTRUCTION.  
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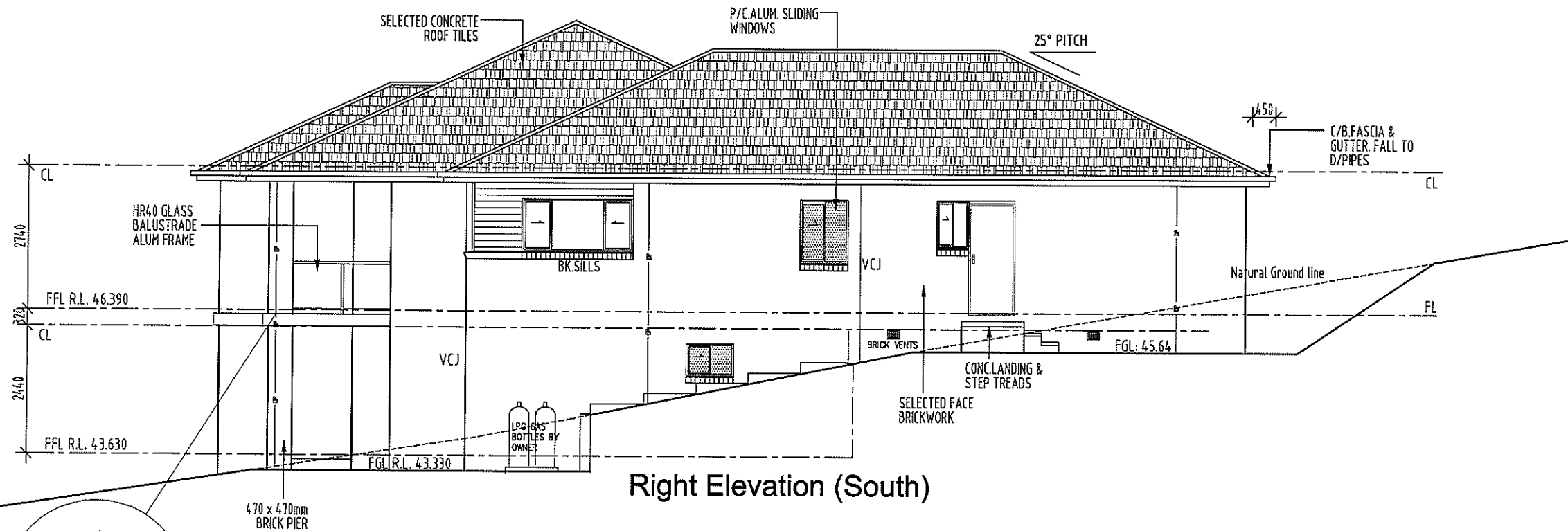
SHEET	DATE	DWG No.
2 of 11	5/8/2014	6269-WD2

## GROUND FLOOR PLAN

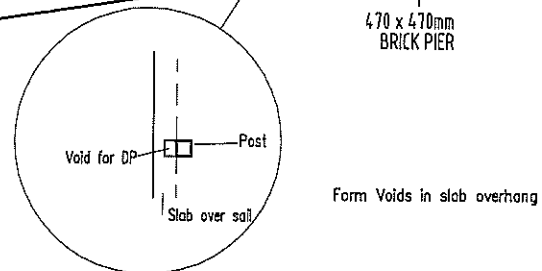
SCALE 1:100



Rear Elevation (East)



Right Elevation (South)

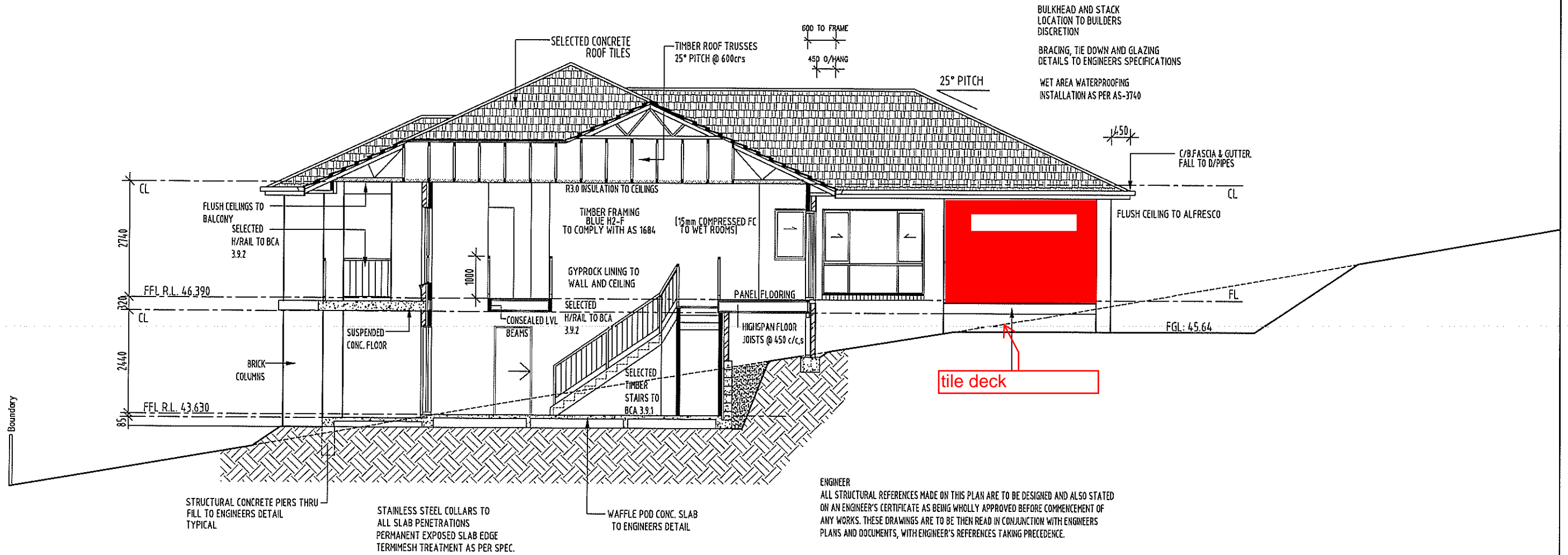


**ELEVATIONS**  
SCALE 1:100

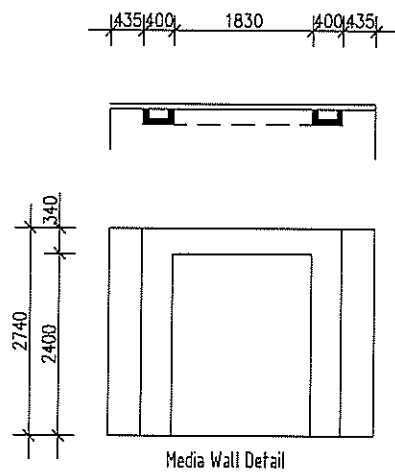
CLIENT	J. & C. MANTILLA	
JOB	PROPOSED RESIDENCE	
LOCATION	Lot 6 PADDOCK CLOSE ELERMORE VALE	
- BUILDER TO CHECK ALL DETAILS AND DIMENSIONS PRIOR TO CONSTRUCTION. - FIGURED DIMENSIONS TAKE PREFERENCE OVER SCALE.		
SHEET	DATE	DWG No.
5 of 11	5/8/2014	6269-WD2

plan prepared by  
**BUILDTECH**  
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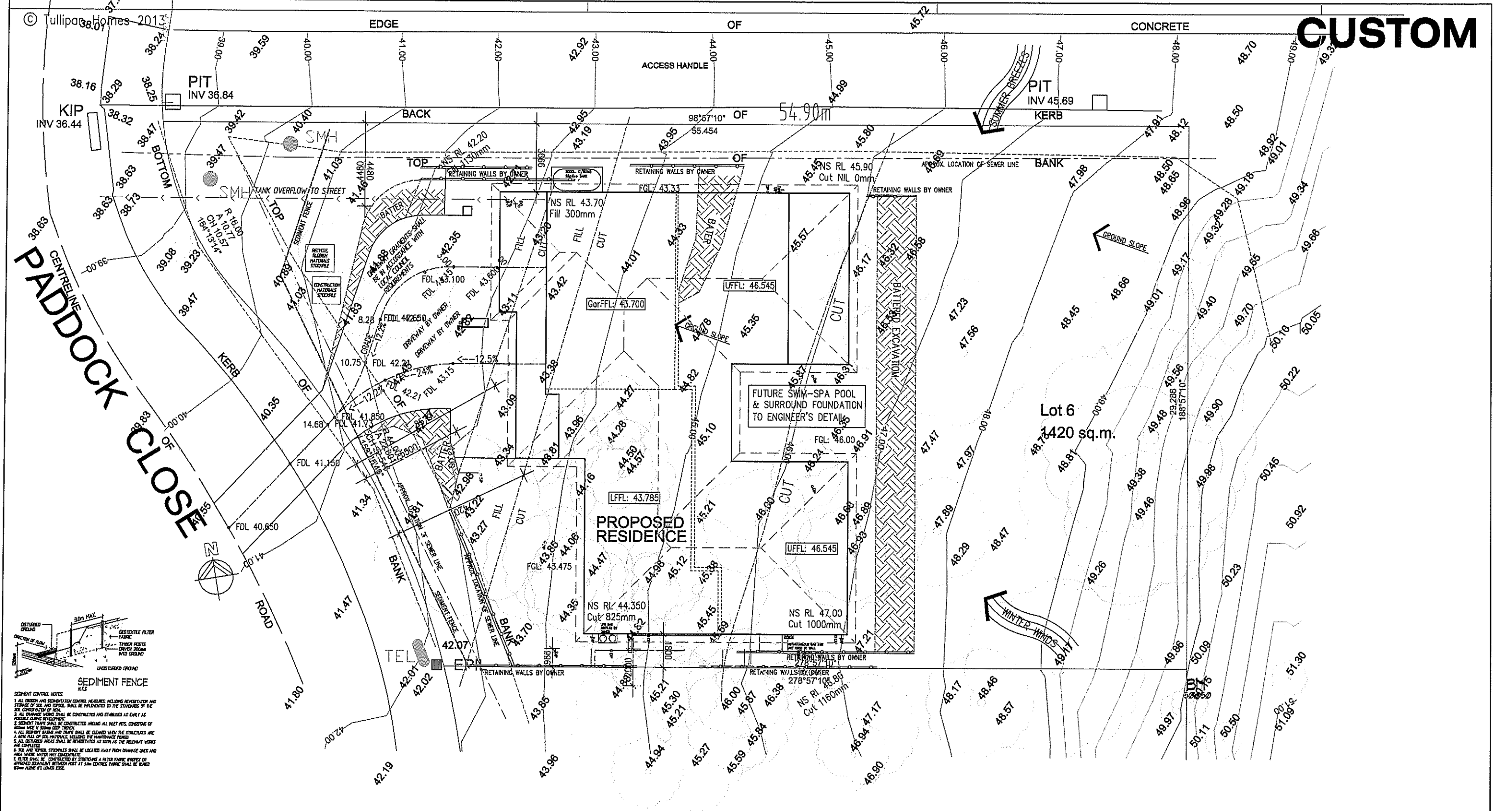


**SECTION THRU A-A**



ENGINEER  
 ALL STRUCTURAL REFERENCES MADE ON THIS PLAN ARE TO BE DESIGNED AND ALSO STATED ON AN ENGINEER'S CERTIFICATE AS BEING WHOLLY APPROVED BEFORE COMMENCEMENT OF ANY WORKS. THESE DRAWINGS ARE TO BE THEN READ IN CONJUNCTION WITH ENGINEERS PLANS AND DOCUMENTS, WITH ENGINEER'S REFERENCES TAKING PRECEDENCE.

CLIENT	<b>J. &amp; C. MANTILLA</b>	plan prepared by	<b>BUILDTECH</b> DESIGN & DEVELOPMENT	
JOB	PROPOSED RESIDENCE	ACCREDITED BUILDING DESIGNERS ABN 54 539 725 979		
LOCATION	Lot 6 PADDOCK CLOSE ELERMORE VALE	Suite 18 - No.1 RELIANCE DRIVE, TUGGERAH N.S.W.2259	ph.4351 8988 fax.4353 8655 email: buildtech@cci.net.au	Lic. No. 131446C
SHEET	6 of 11	DATE	5/8/2014	DWG No.
				<b>6269-WD2</b>
				BUILDING DESIGNERS AUSTRALIA NOW Membership No. 930099
				PH 02 4353 8644 FAX 02 4353 8655 www.tullipanhomes.com.au www.splitlevelhomes.com.au
				Suite 18, 1 Reliance Dr Tuggerah Business Park Tuggerah NSW 2259 PO Box 5148 CHITTAWAY BAY NSW 2261



**SITE PLAN - TREES TO BE REMOVED / RETAINED**  
SCALE 1:200

SITE AREA: 1420 sq.m  
 Floor space ratio: 0.27 :1  
 Site cover: 364.85 sq.m  
 Drive/paths: 93.23 sq.m  
 Open space: 68%

CLIENT	J. & C. MANTILLA	plan prepared by <b>BUILDTECH</b> DESIGN & DEVELOPMENT ACCREDITED BUILDING DESIGNERS ABN 54 539 725 979 Suite 18 - No.1 RELIANCE DRIVE, TUGGERAH N.S.W.2259 ph.4351 8988 fax.4353 8655 email:buildtech@cci.net.au	<b>TULLIPAN HOMES</b> PTY LTD Lic. No. 131446C PH 02 4353 8644 FAX 02 4353 8655 www.tullipanhomes.com.au www.splitlevelhomes.com.au
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SHEET	DATE		
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